

Lot #187 Custom Residence

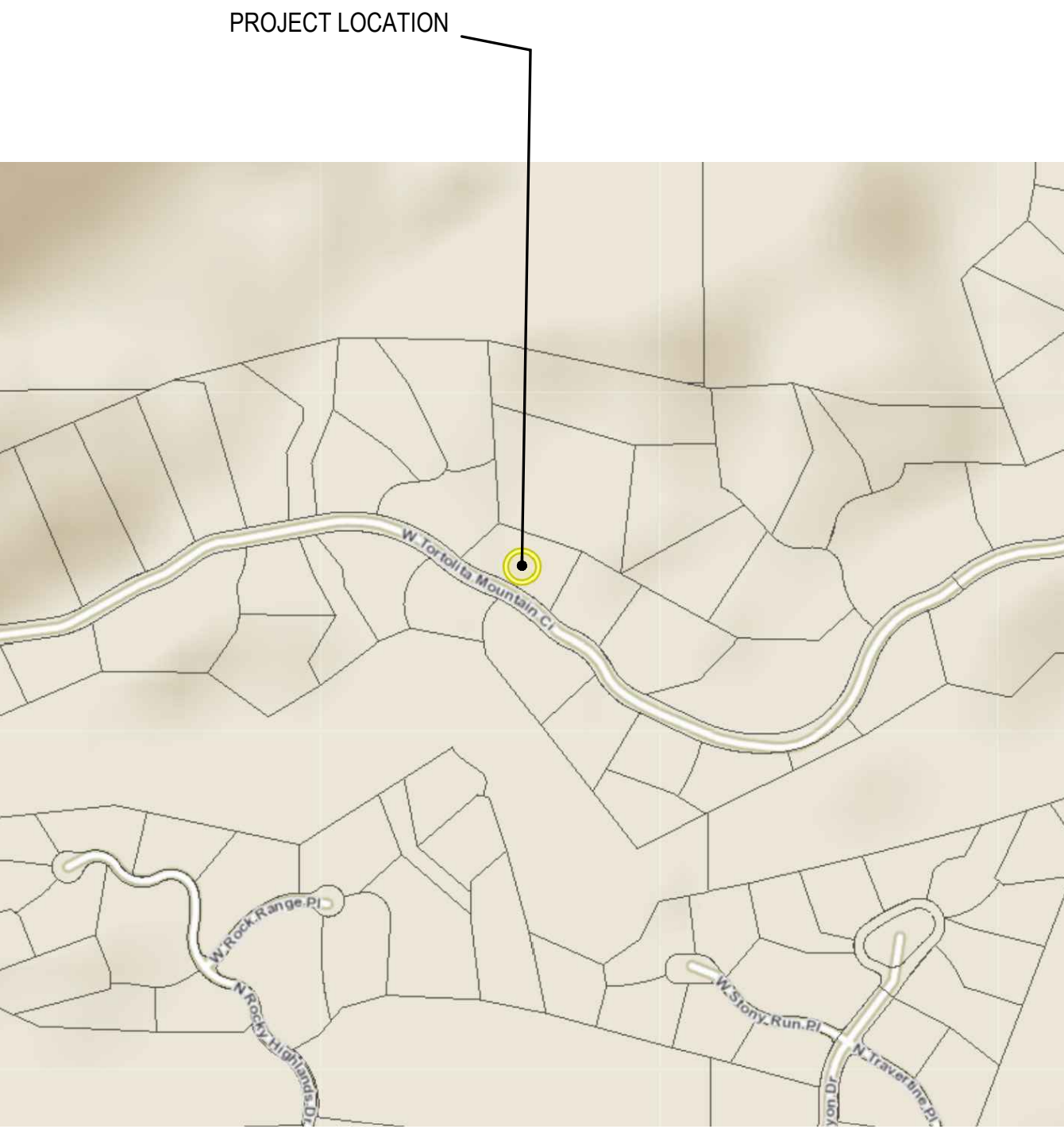
1189 W TORTOLITA
MOUNTAIN CI
Lot #187 of STONE CANYON
Tucson, Az 85755
Parcel 219-06-0680

INDEX TO DRAWINGS

T1.0	TITLE SHEET
A1.0	SITE PLAN
A1.1	SITE EXHIBIT
A3.0	REFERENCE PLAN
A4.1	ROOF PLAN
A6.0	BUILDING ELEVATIONS
L1.0	LANDSCAPE PLAN
7	SHEETS TOTAL

SQUARE FOOTAGE

MAIN LEVEL AC SPACE:	2,650 S.F.
GARAGE/MECH:	775 S.F.
SUB-TOTAL ENCLOSED SPACE	3,425 S.F.
COVERED PORCHES / OVERHANGS:	1,060 S.F.
TOTAL UNDER ROOF:	4,485 S.F.



LOCATION MAP

SCALE: N.T.S.

8339 N Oracle Rd Suite 110
Tucson, Arizona 85705
Phone: 520.322.6800
Fax: 520.322.6812
www.kbharchitect.com

Kevin B Howard
ARCHITECTS
DESIGN + BUILD
AIA

Custom Residence
Lot #187 of Stone Canyon
Oro Valley, Arizona, 85755

ONE
O · A · K
EXCEPTIONAL HOMES

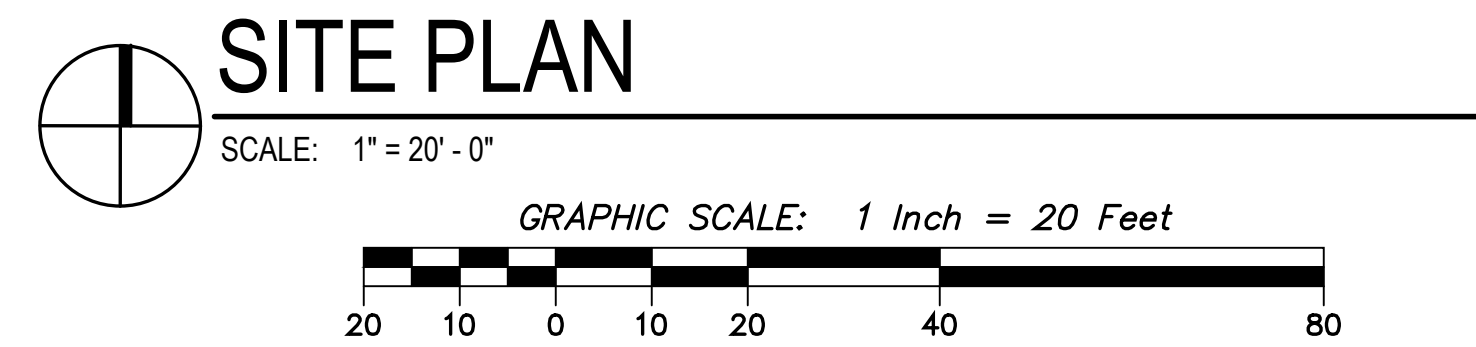
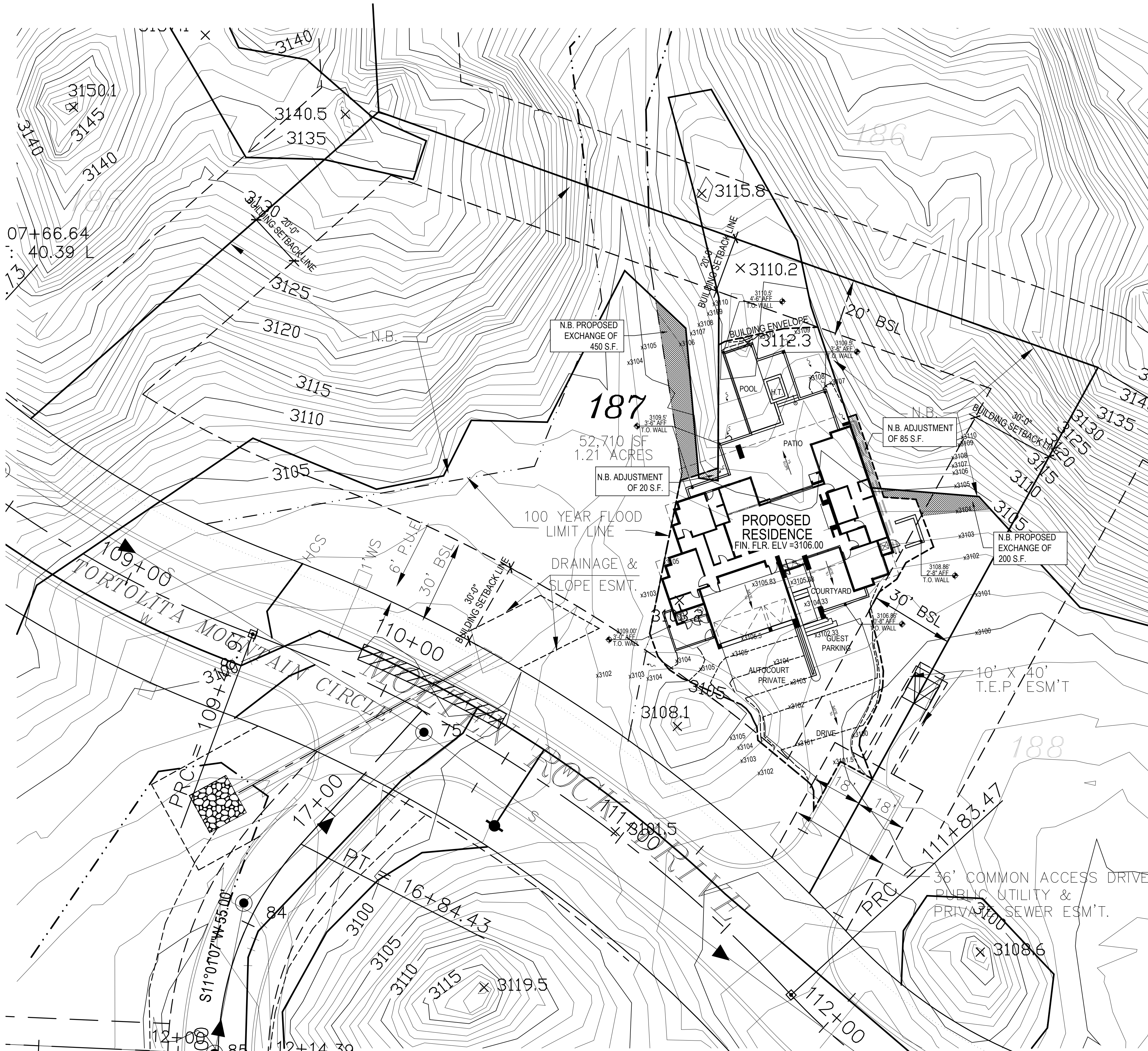
TITLE SHEET

© 2022 Kevin B Howard Architects, Inc.
All rights reserved.
THESE DRAWINGS ESTABLISH THE GENERAL
STANDARDS OF QUALITY AND DETAIL FOR
DEVELOPING A CONSTRUCTION CONTRACT.
ALL INFORMATION ON THESE DRAWINGS
ARE THE PROPERTY OF KBH ARCHITECTS
AND ARE INTENDED FOR THE PROJECT ONLY

Job: 2022-01
Date: 09-08-2022
REVISIONS:

Drawn By:
L. Craig, J. Cardona
Checked By:
K. Howard

T1.0



NO BUILDING ZONE CALCS.

REQUESTED N.B. AREA	87 S.F.
PROPOSED EXCHANGE N.B. AREA	650 S.F.
REQUESTED N.B. 105 S.F.	< PROPOSED N.B. 650 S.F.

ZONING REQUIREMENTS

EXISTING ZONING: RANCHO VISTOSO P.A.D.	
JURISDICTION: ORO VALLEY	
FRONT SETBACK	30 FEET
STONE CANYON CC&R	25 FEET
TOWN OF ORO VALLEY	
SIDE SETBACK	
STONE CANYON CC&R	20 FEET
TOWN OF ORO VALLEY	8 FEET
REAR SETBACK	
STONE CANYON CC&R	30 FEET
TOWN OF ORO VALLEY	25 FEET

LINE WORK LEGEND	
	Indicates a found monument as described
	Indicates set 1/2" rebar or similar survey marker
	Indicates a 2" Brass Cap in Concrete
Elevation of finished construction X marks the spot	
Elevation of grading or ground x marks the spot	
Grading Envelope	_____
Property Boundary	_____
Modified Contour	- - - - -
Above Finished Floor	_____
Below Finished Floor	_____
Top of wall	_____
Elevation	_____

SITE GENERAL NOTES

- All natural growth shall remain undisturbed except that which is in the building area and no growth shall be removed without the consent of the owner and the home homeowners association.
- Contractor shall scarify soil under concrete slabs and re-compact prior to placement of slabs sub-base: 4" sand or ABC fill.
- All finish grading shall be sloped to provide positive drainage away from building.
- Treat all soil under slabs and footings for termites per current state requirements.
- All questions relative to adequacy of bearing or compacting of sub grade and fill shall be referred to a soils and foundation engineer from a competent soil and foundation laboratory for resolution. The results shall be submitted directly to the architect from the soil engineer, with copies to the contractor. Include the following information in the reports:
 - Test report on borrow materials
 - Verification of each footing sub grade
 - Field density test reports
 - One optimum moisture-maximum density curve for each type of soil engineered.
- Contractor shall investigate site during clearing and earthwork operations for filled excavations or buried structures such as cess pools, cisterns, foundations, etc. If any such structures are found, the architect shall be notified immediately.
- All abandoned footings, utilities, etc. that interfere with new construction shall be removed as directed by the soils engineer.
- Unimproved disturbed areas resulting from operations on this lot shall be restored to their natural state by utilizing drought-resistant vegetation. All utility trenches and or leach fields are to be restored to their original natural conditions.
- Excess soil generated from earthwork operations shall be removed from the site and lawfully disposed of or, if allowed and approved by the town engineer, site material may be placed so as to become an integral part of the site development, all in accordance with the hillside development regulations.
- Cut and fill slopes and slope treatment to comply with the requirements of the accepted GEOTECHNICAL engineering investigation and per flood plain use and grading permit requirements of the local the local governing bodies
- Excess soil material generated from the earthwork operations shall not be disposed of by pushing or placing said material into the areas designated as 100-year flood plain areas.
- The contractor is responsible for assuring proper and adequate drainage as determined by the grading plan.
- Elevation of finish pad shall be certified by a registered land surveyor prior to pouring foundations.
- See sheet L1 for landscape / planting plan
- Construction fence shall be properly installed and maintained along non-buildable area.
- Storm water disposal shall be overland and shall maintain existing drainage patterns.
- Arizona game and fish department's guidelines for handling desert tortoise specimens shall be followed if these animals are encountered during development.
- Only that vegetation shall be removed which is necessary for building pads and accessory uses, roads, and driveways. All healthy palo verde, mesquite, ironwood, saguaros and barrel cacti to be removed shall be transplanted for on-site landscaping
- There shall be no operation, maintenance or repair of heavy equipment between sunset and sunrise and in no cases earlier than 6:00am
- Maintain a 2'-0" (minimum) natural buffer between grading limits and property lines.
- Place rip rap at all roof drains, scuppers and site drains.
- Future pool, spa and it's enclosure acceptance to be by separate permit.
- Treat all soil under slabs and footings for termite per current state requirements per section R324.1

GRADING STATEMENT

- STABILIZATION, EROSION AND DRAINAGE CONTROL MEASURES ARE AS FOLLOWS:
 - SLOPES 3:1 OR SHALLOWER SHALL BE REVEGETATED (OR USE CLEAN LANDSCAPE ROCK).
 - SLOPES STEEPER THAN 3:1 BUT SHALLOWER THAN 2:1 SHALL BE COVERED WITH ROCK RIPRAP OVER FILTER FABRIC.
 - SLOPES 2:1 AND STEEPER SHALL HAVE GROUTED RIPRAP, EARTH RETAINING WALLS, OR RETAINING WALLS AS APPROPRIATE.
 - STEEPER OR VERTICAL CUTS IN ROCK MUST BE DETERMINED FOR ANY STRUCTURAL FEATURES THAT MAY ADVERSELY AFFECT THE STABILITY OF CUT. IF NO PROBLEM IS DETERMINED THEN ROCK WILL BE STAINED TO NATURAL ROCK APPEARANCE
 - LOCATIONS OF WATER SHED SHALL BE TREATED WITH HAND PLACED ROCKS, ROOF DRAINPIPES, AND STORMWATER DRAINS SHALL HAVE GROUTED RIPRAP LOCATED AT OPENING OF PIPE. ROCK & RIPRAP TO BE COORDINATED WITH LANDSCAPE DESIGN.
- IF OFF-SITE DISPOSAL LOCATION IS REQUIRED, IT IS TO BE DETERMINED BY THE GENERAL CONTRACTOR.
- THE ESTIMATED DATE OF START & COMPLETION ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR.
- DUST CONTROL METHODS INCLUDE:
 - WATER AT SUFFICIENT FREQUENCY, QUANTITY, AND DEPTH, INCLUDING PRE-SOAKING.
 - USE CHEMICAL STABILIZERS
 - COVER HAUL MATERIAL
 - DO NOT OVERLOAD HAUL VEHICLE
 - USE GRIZZLIES, GRAVEL, OR PAVING TO PREVENT TRACKOUT.



Kevin B Howard
ARCHITECTS
DESIGN + BUILD

8339 N Oracle Rd
Suite 110
Tucson, Arizona
85712
Phone: 520.322.6800
Fax: 520.322.6812
www.kbharchitect.com

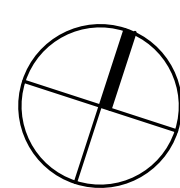
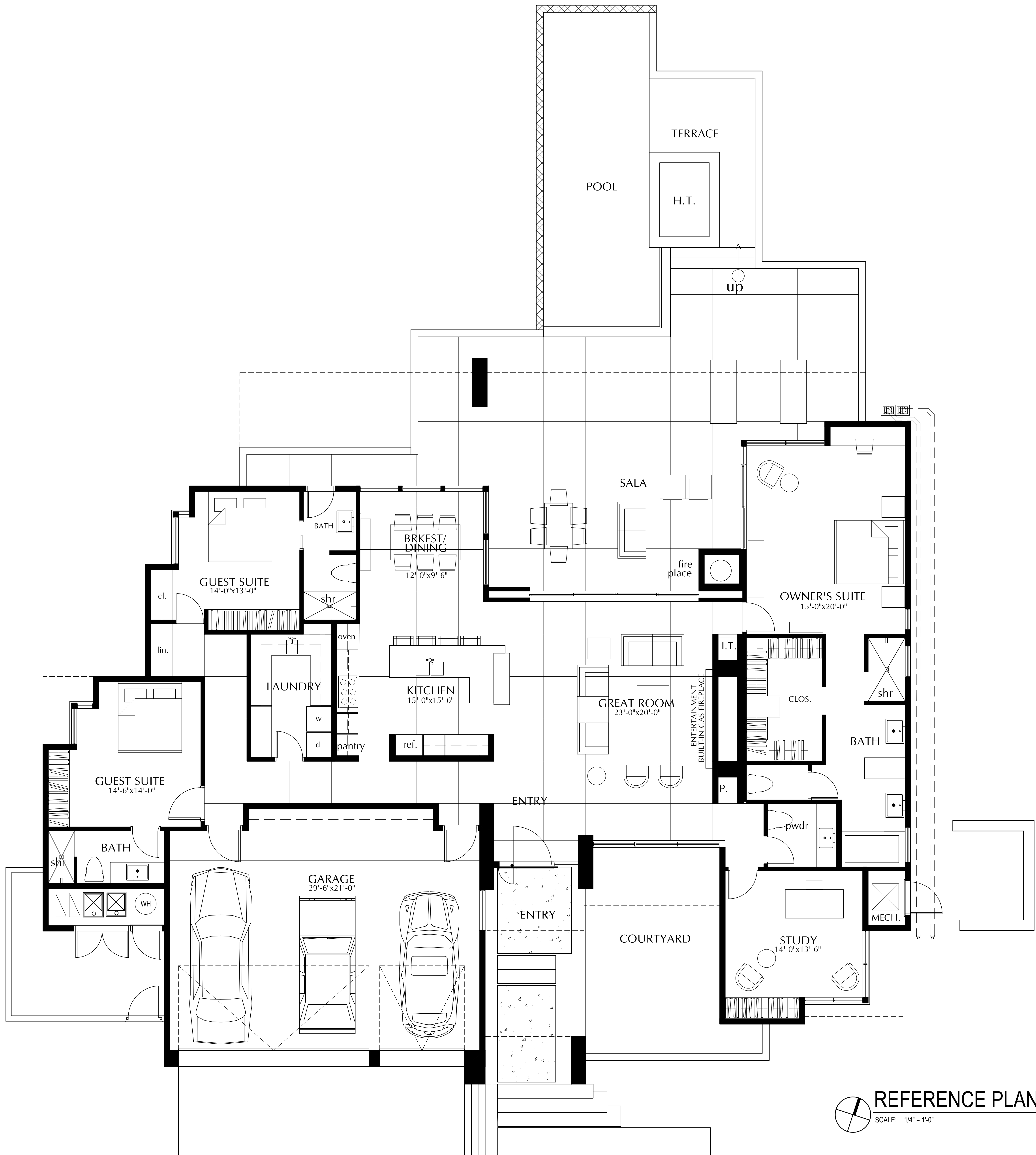
Custom Residence
Lot #187 of Stone Canyon
Oro Valley, Arizona, 85755

ONE
OAK
EXCEPTIONAL HOMES

SITE EXHIBIT

© 2022 Kevin B Howard Architects, Inc. All rights reserved.
THESE DRAWINGS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A CONSTRUCTION CONTRACT. ALL INFORMATION ON THESE DRAWINGS ARE THE PROPERTY OF KBH ARCHITECTS, AND ARE INTENDED FOR THIS PROJECT ONLY.

Job: 2022-01
Date: 09-08-2022
REVISIONS:
Drawn By: L. Craig, J. Cardona
Checked By: K. Howard



REFERENCE PLAN

SCALE: 1/4" = 1'-0"

Custom Residence
Lot #187 of Stone Canyon
Oro Valley, Arizona, 85755

ONE
OAK
EXCEPTIONAL HOMES

REFERENCE PLAN

© 2022 Kevin B Howard Architects, Inc. All rights reserved.
THESE DRAWINGS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A CONSTRUCTION CONTRACT. ALL INFORMATION ON THESE DRAWINGS ARE THE PROPERTY OF KBH ARCHITECTS AND ARE INTENDED FOR THIS PROJECT ONLY.

Job: 2022-01
Date: 09-08-2022

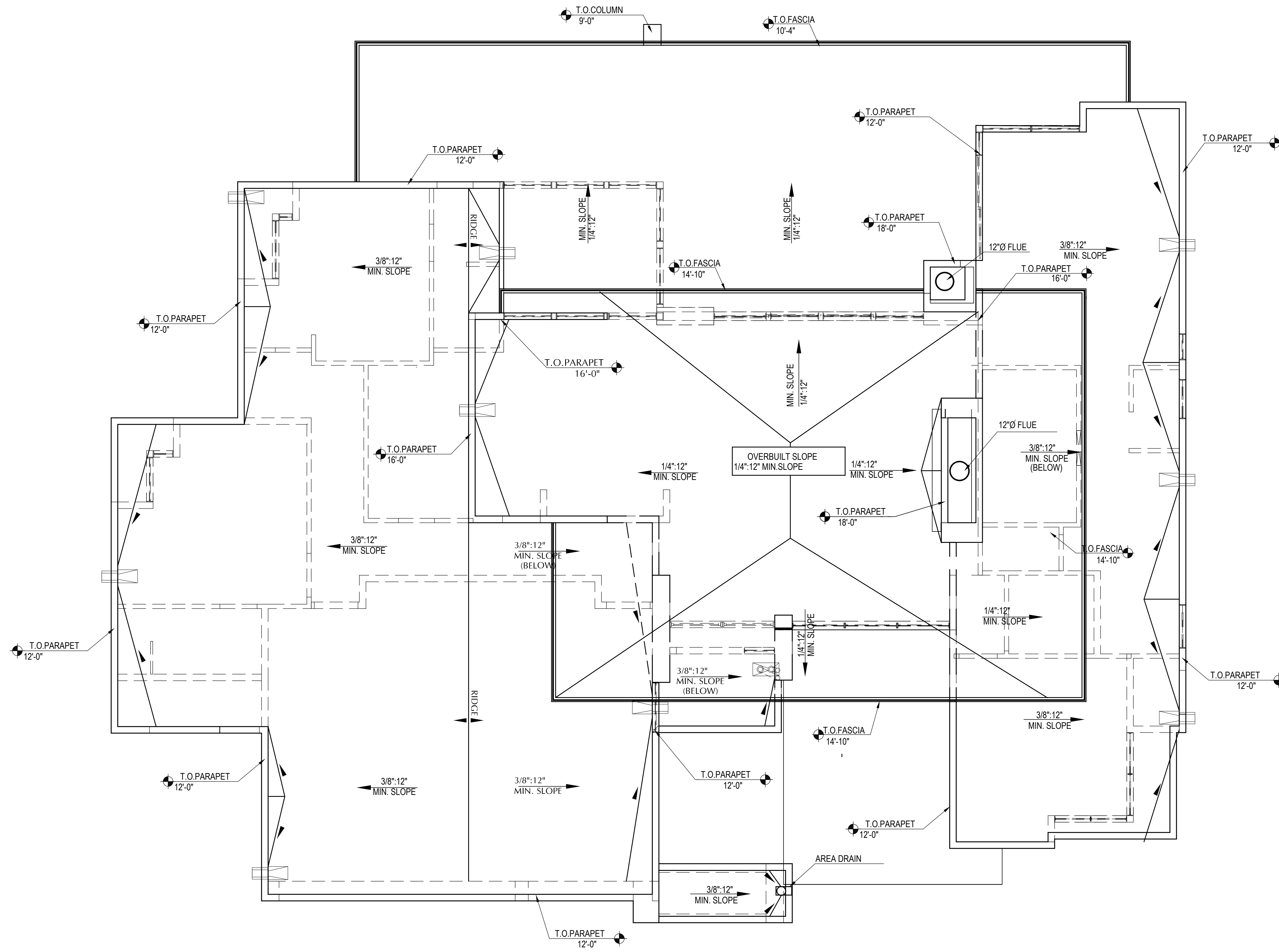
REVISIONS:

Drawn By:
L. Craig, J. Cardona
Checked By:
K. Howard

A3.0

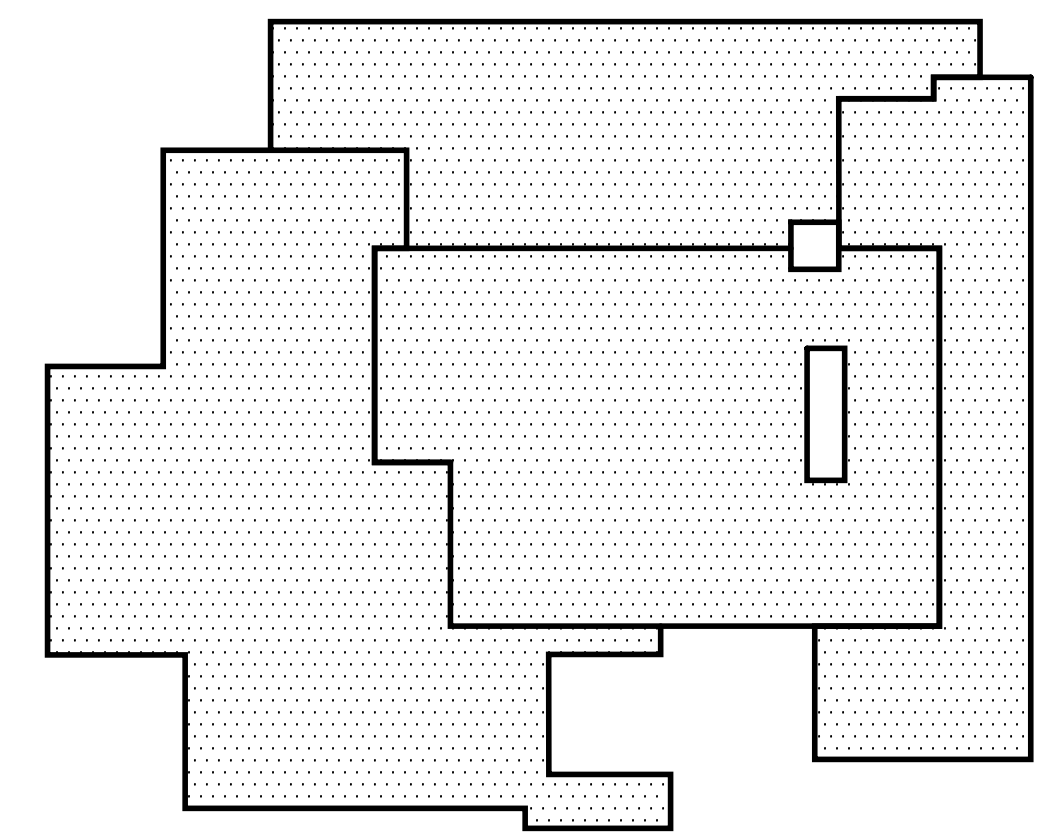
Kevin B Howard
ARCHITECTS
DESIGN + BUILD
AIA

8339 N Oracle Rd
Suite 110
Oro Valley, Arizona 85755
Phone: 520.322.6800
Fax: 520.322.6812
www.kbharchitect.com



- UNDER 18' ABOVE NATURAL GRADE: 4,902 SQ. FT. = 100%
- ABOVE 18' ABOVE NATURAL GRADE: 0 SQ. FT. = 0%
- ABOVE 22' ABOVE NATURAL GRADE: 0 SQ. FT. = 0%

ROOF HEIGHT DIAGRAM
SCALE: 1/16" = 1'-0"



- ROOF PLAN LEGEND**
- ROOF VENT
 - METAL FLUE
 - T.O. Parapet = TOP OF PARAPET
 - T.O.P. = TOP OF PARAPET
 - T.O. Ridge = TOP OF RIDGE
 - B.O.P. = BOTTOM OF PARAPET
 - T.O.W. = TOP OF WALL
 - T.O.C. = TOP OF CHIMNEY
 - A.F.F. = ABOVE FINISHED FLOOR
 - E.F. = EXHAUST FAN

NOTE:
ALL FLUE VENTS SHALL NOT BE VISIBLE FROM EXTERIOR ELEVATIONS. COORD. W/ MECH. PLAN TYPICAL.

ROOF PLAN
SCALE: 1/4" = 1'-0"
NOTE: ALL ROOF FRAMING HEIGHTS ARE RELATIVE TO THE FINISHED FLOOR ELEVATION 0' - 0"

8339 N Oracle Rd Suite 110
Phoenix, Arizona 85027
Phone 602.322.6800
Fax 602.322.6812
www.kbharchitect.com

Kevin B Howard
ARCHITECTS
DESIGN + BUILD
AIA

Custom Residence
Lot #187 of Stone Canyon
Oro Valley, Arizona, 85755

ONE
OAK
EXCEPTIONAL HOMES

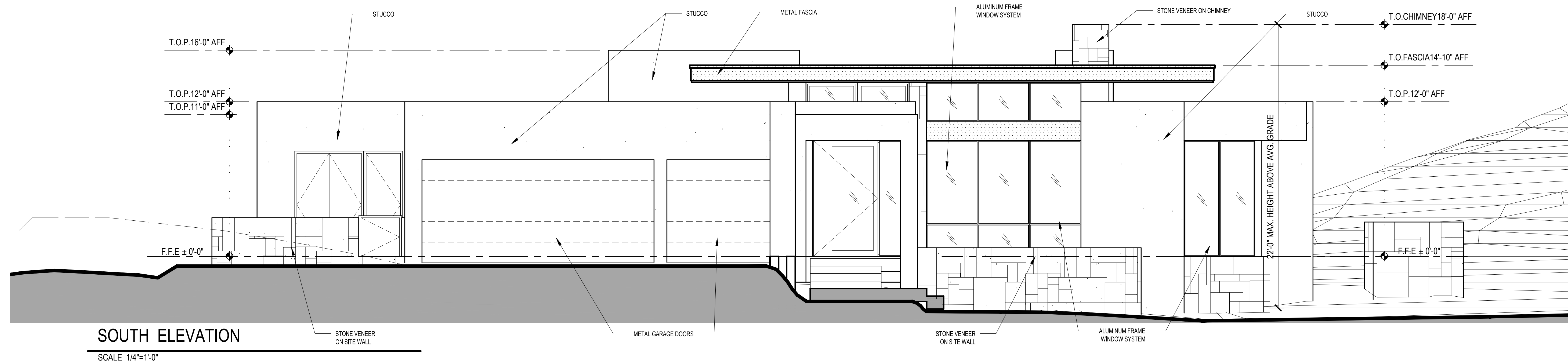
ROOF
PLAN

© 2022 Kevin B Howard Architects, Inc.
All rights reserved.
THESE DRAWINGS ESTABLISH THE GENERAL
STANDARDS OF QUALITY AND DETAIL FOR
DEVELOPING A CONSTRUCTION CONTRACT.
ALL INFORMATION ON THESE DRAWINGS
ARE THE PROPERTY OF KBH ARCHITECTS
AND ARE INTENDED FOR THIS PROJECT ONLY.

Job: 2022-01
Date: 09-08-2022
REVISIONS:

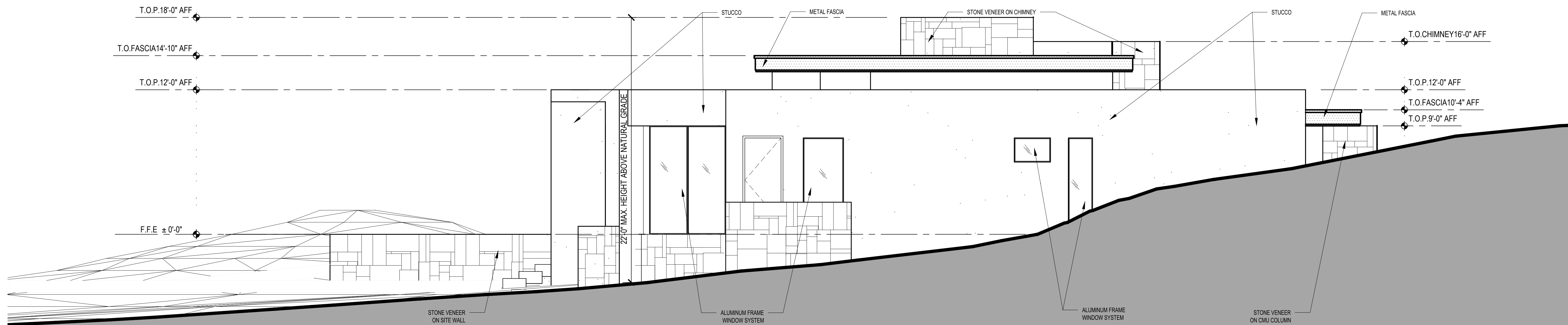
Drawn By:
L. Craig, J. Cardona
Checked By:
K. Howard

A4.1



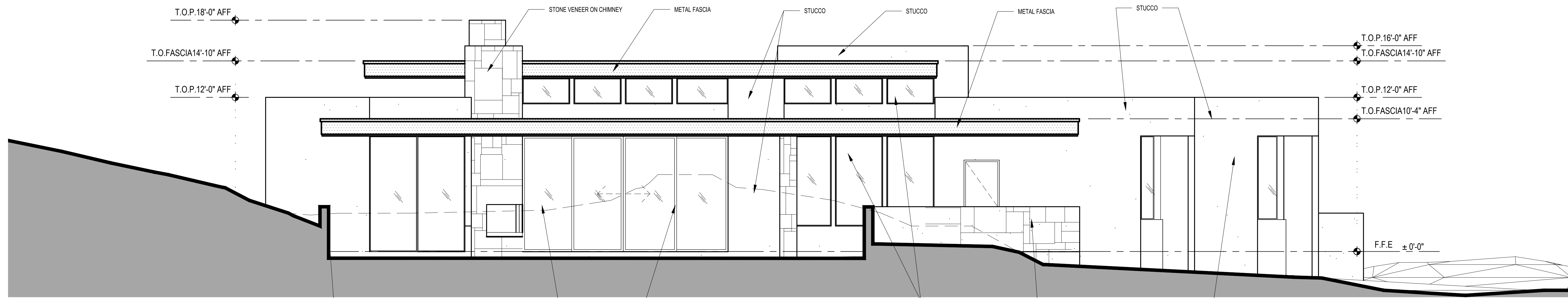
SOUTH ELEVATION

SCALE 1/4"=1'-0"



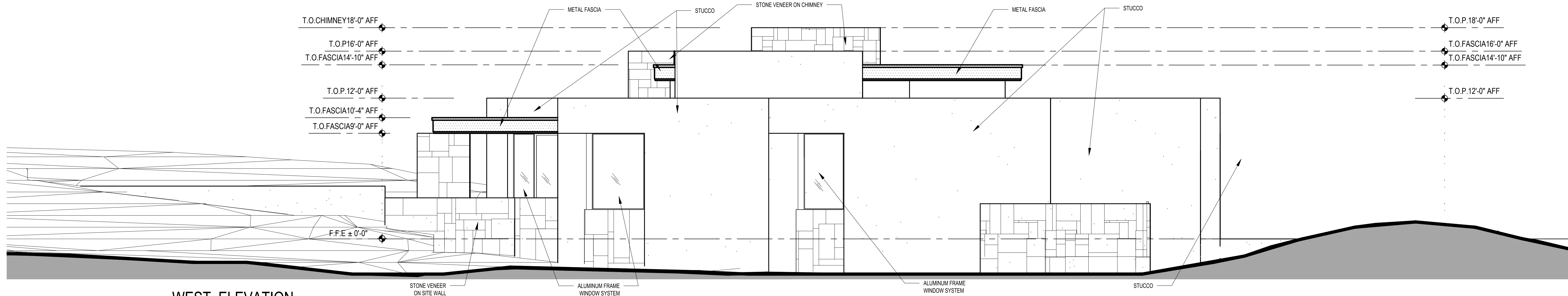
EAST ELEVATION

SCALE 1/4"=1'-0"



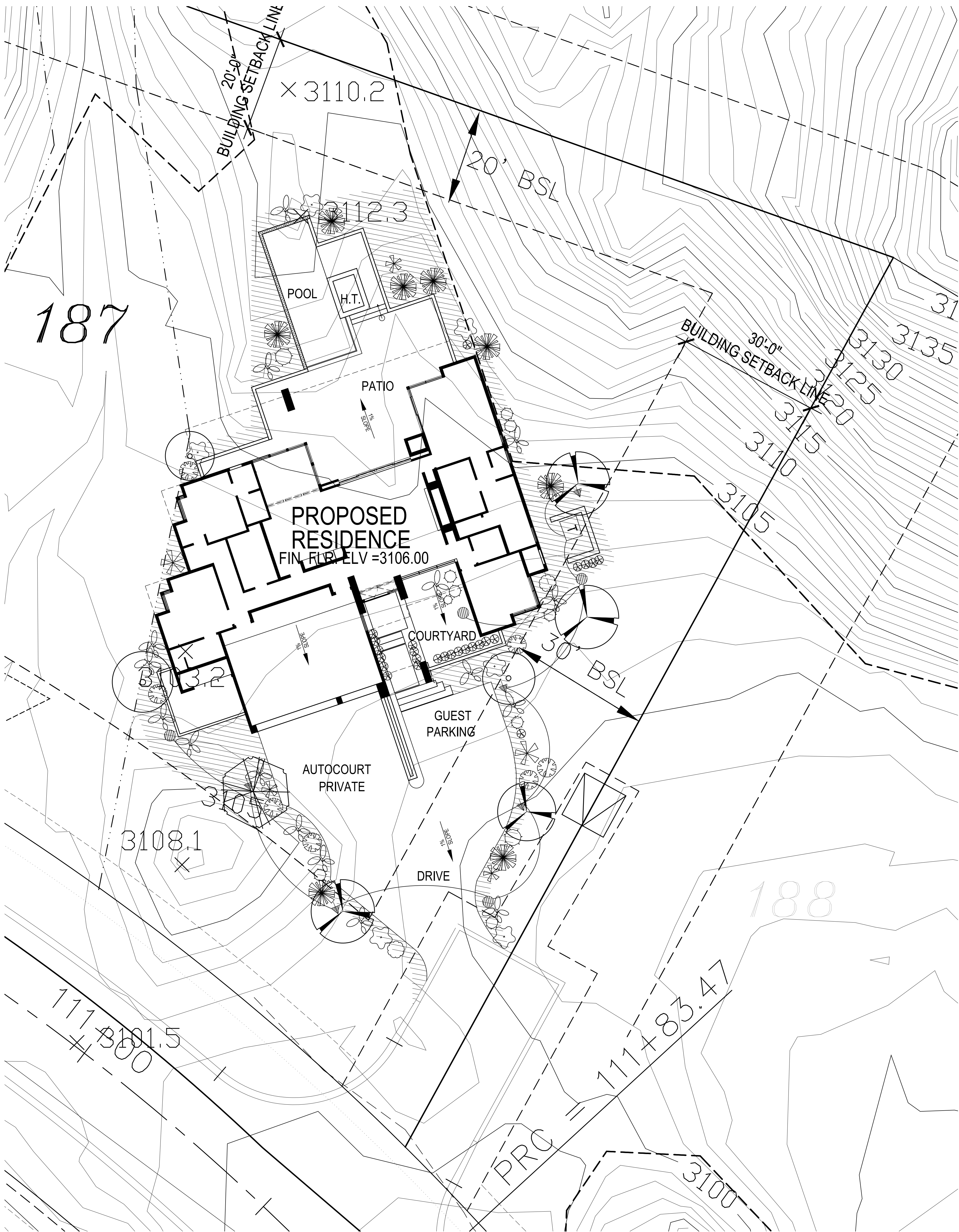
NORTH ELEVATION

SCALE 1/4"=1'-0"



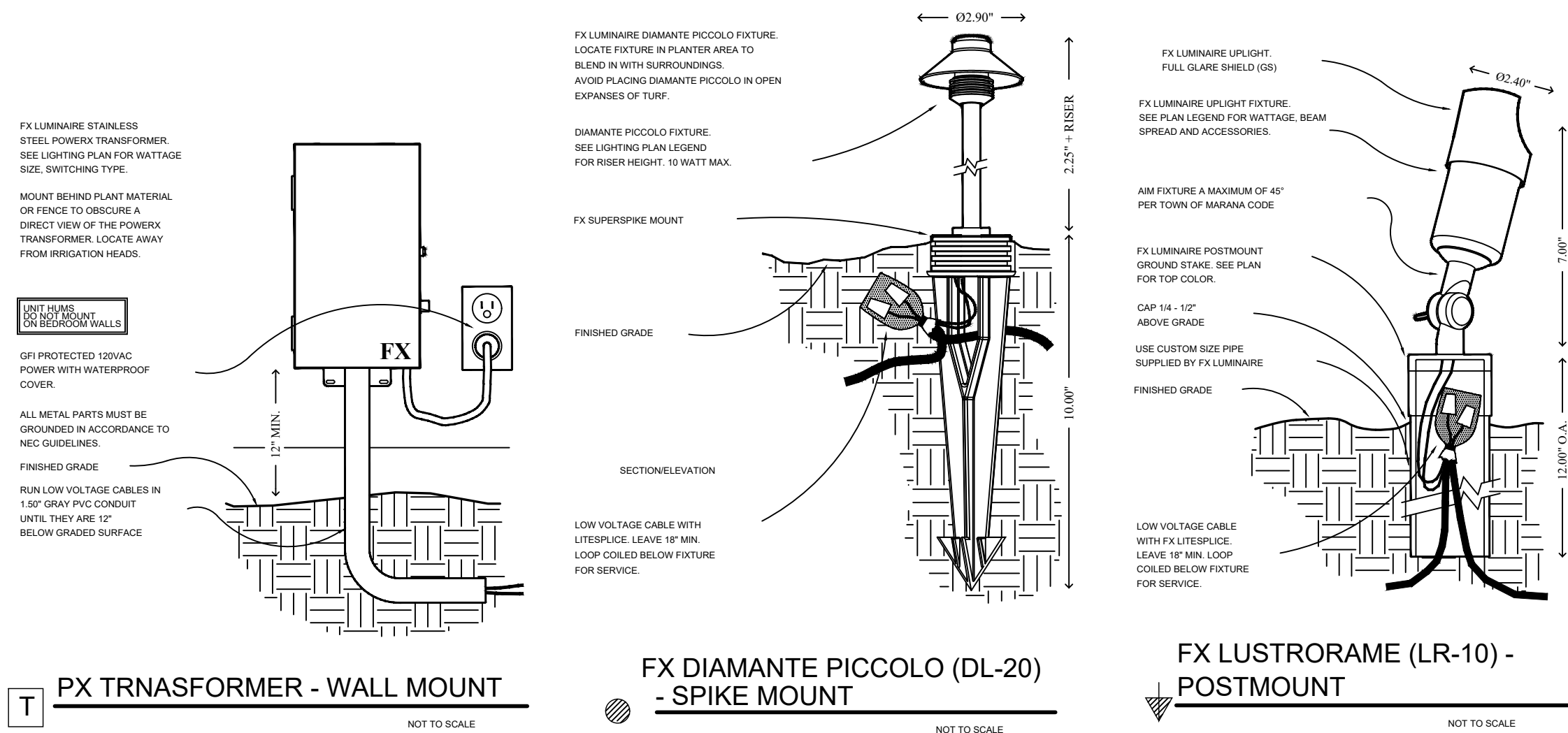
WEST ELEVATION

SCALE 1/4"=1'-0"



LIGHTING FIXTURE SCHEDULE

Symbol	Manufacturer	Model	Description	Accessories	Quant.	Lumens	Lumens TOTAL
	FX Luminaire	FX DIAMANTE PICCOLO (DL-20)	20 Watt Path Light	SS	4	26	104
	FX Luminaire	DL-20-12R-CU-DEMILITE	20 Watt Up Light	SS	5	50	250
	FX Luminaire	PX-600 PC	600 Watt Transformer		2		
12/2			12 Gauge Cable				
10/2			10 Gauge Cable				
Total Lumens						354	



Seed Mix

AREA REQUIRED: 2,239 S.F.

Apply seed mix to all areas that have been scarred by construction.

Rate lbs/acre Seed Type
(pure live seed)

1.5	Encelia farinosa
4.0	Ambrosia sp.
4.0	Larrea tridentata
2.0	Acacia constricta (scarified)
2.0	Cercidium microphyllum (scarified)
2.0	Acacia greggii (scarified)
0.5	Sphaeralcea ambigua
1.0	Baileya multiradiata

Revegetation Hydroseeding: Rototill or rip areas to be seeded a minimum of 6 inches deep parallel to contours and remove any rocks larger than 3 inches in diameter. Rake smooth and apply 'Grow Power' at a rate of 1000 lbs/acre and Ammonium Phosphate at a rate of 300 lbs/acre. Apply hydromulch fiber at a rate of 1800 lbs/acre.

TRANSITIONAL PLANT TABLE				
Trees	Quantity	Symbol	Scientific Name	Common Name
	4		Cercidium microphyllum	Foothill palo verde
	1		Prosopis chilensis	Chilean mesquite
	3		Olneya tesota	Desert ironwood
Shrubs	Quantity	Symbol	Scientific Name	Common Name
	0		Cassia wislizeni	Shrubby senna
	0		Celtis pallida	Desert hackberry
	0		Encelia farinosa	Brittle Bush
	7		Leucophyllum candidum	Texas Ranger 'Silver Cloud'
	0		Leucophyllum laevigatum	Chihuahuan Rain Sage
	23		Salvia microphylla	Scarlet Salvia
	2		Salvia clevelandii	Cleveland sage
Succulents/Accents	Quantity	Symbol	Scientific Name	Common Name
	5		Agave americana	Century plant
	8		Agave parii	Perry's agave
	10		Echinocactus grusonii	Golden Barrel
	0		Fouquieria splendens	Ocotillo
	0		Hesperaloe funifera	Coahuilan Hesperaloe
	0		Hesperaloe parviflora	Red yucca
	15		Opuntia violacea santa-rita	Purple Prickly Pear
	0		Dasylirion wheeleri	Desert Spoon
Private Area Plant Table				
Accents	Quantity	Symbol	Scientific Name	Common Name
	XXXX		Carnegiea gigantea	Saguaro
	0		Carnegiea gigantea	REMOVED FROM SITE
	6		Justicia californica	Chuparosa

LANDSCAPE PLAN

SCALE: 1" = 10'-0"

8339 N Oracle Rd
Suite 110
Tucson, Arizona 85704
Phone 520.322.6800
Fax 520.322.6812
www.kbharchitect.com

Kevin B Howard
ARCHITECTS
DESIGN + BUILD

Custom Residence
Lot #187 of Stone Canyon
Oro Valley, Arizona, 85755

ONE
O.A.K.
EXCEPTIONAL HOMES

LANDSCAPE
PLAN

© 2022 Kevin B Howard Architects, Inc.
All rights reserved.
THESE DRAWINGS GOVERN THE GENERAL
STANDARDS OF QUALITY AND DETAIL FOR
DEVELOPING A CONSTRUCTION CONTRACT.
ALL INFORMATION ON THESE DRAWINGS
AND THE PROPERTY OF KBH ARCHITECTS
AND ARE INTENDED FOR THIS PROJECT ONLY.

Job: 2022-01
Date: 09-08-2022

REVISIONS:

Drawn By:
L. Craig, J. Cardona
Checked By:
K. Howard

L1.0